

BASIX NOTES - 65 KELVIN PARADE, PICNIC POINT.

Basix and Natthers requirements are:
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.
-Gas cooktop and electric oven
-R4.5 insulation to plasterboard ceiling. ceiling: 4.5 (up), roof: foil backed blanket (75 mm)
-Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
-foil+R2.5 to all first floor timber framed external walls
-Weather stripping to external doors & windows
-all windows and sliding doors shall be: U = 6.70& SHGC = 0.70
U-value: 5.4, SHGC: 0.441 - 0.539
(aluminium, single, Hi-Tsol Low-e)
-RWT: 4,000L to collect 225sqm of roof area and to be connected to pool and landscape
-pool capacity: 28KI
-spa capacity: 5KI
-solar panels (photovoltaic system): 1.0 peak KWh

SMOKE ALARMS :3.7.2 NCC AND AS3786

SELF CONTAINED SMOKE ALARMS SHALL BE LOCATED AS SHOWN ON DRAWINGS AND FULLY COMPLY WITH THE BUILDING CODE OF AUSTRALIA, AS 3786 AND ANY OTHER CODE OR STANDARD REFERENCED THEREIN.

S/A

SELF CONTAIN SMOKE DETECTOR 12/240V WITH INTEGRAL BUZZER AND BATTERY BACKUP
ALL SMOKE ALARMS TO BE HARD WIRED TO MAIN POWER.

INTERCONNECT SMOKE ALARMS SO THAT ONE ALARM WILL TRIGGER ALL ALARMS WITHIN THE RESIDENCE

VERTICAL JOINT IN MASONRY CONSTRUCTION
VERTICAL JOINTS INDICATED AS (VJ) ARE APPROXIMATES ONLY. ALL VERTICAL JOINTS ARE TO BE IN STRICT ACCORDANCE WITH AS-3700 MASONRY CODE. PROVIDE VERTICAL ARTICULATION JOINTS IN BRICK WALLS AS PER CLAUSE 3.3.5.13 OF THE NATIONAL CONSTRUCTION CODE AND AS PER STRUCTURAL ENGINEER'S DETAILS
NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH

PROPOSED FOUNDATION IN STRICT ACCORDANCE TO COUNCILS DETAILS AND COMPUTATIONS FOR CONSTRUCTION. BUILDER TO CONFIRM ALL FOOTING DEPTH ON SITE TO SUIT SITE LEVELS AND CONDITIONS.

SELECTED GARAGE PANEL LIFT OR MECHANICAL ROLLING DOOR WITH MOTORISED OPERATION TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS, SIZES AND SPECIFICATIONS. REFER TO WINDOW SCHEDULE AT CC STAGE.

INSITUE FORMED REINFORCED CONCRETE SLAB TO DRIVEWAY AS SHOWN ON 50mm CONSOLIDATED SAND BED. REFER TO STRUCTURAL ENGINEERS DETAILS AND COMPUTATIONS AT CC STAGE. ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL CURRENT BUILDING CODES AND RELEVANT AUSTRALIAN STANDARDS.

DRIVEWAY CROSSING
STREET BOUNDARY ALIGNMENT LEVELS TO BE IN ACCORDANCE WITH WORK PERMIT APPROVAL. THE LEVELS FOR THE ENTIRE STREET BOUNDARY ACROSS THE FRONTAGE IN KELVIN PARADE ARE TO BE THE NOMINATED AMOUNT ABOVE THE INVERT OF GUTTER AS PER THE WORK PERMIT ISSUED BY COUNCIL. REFER TO PLAN NUMBER PERMIT

1.2m HIGH FRONT FENCE WITH NUMBER & LETTER BOX.
BUILDER TO CONFIRM EXTENT AND LOCATION OF FEATURE LETTERBOX WALL WITH PROPRIATOR BEFORE CONSTRUCTION. LETTERBOX TO AUSTRALIA POST REQUIREMENTS.

GARAGE PROVIDE CAR PARKING FOR RESIDENTS THAT ENSURES THAT THERE IS ADEQUATE PROVISION FOR VEHICULAR ACCESS AND MANOEUVRING AND MINIMISES THE IMPACT OF GARAGES UPON THE STREETScape.

STORMWATER TO BE DRAINED TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF HYDRAULIC ENGINEERS AND RELEVANT AND GOVERNING AUTHORITY. BUILDER TO CONFIRM THE EXACT LOCATION OF THE LEGAL POINT OF DISCHARGE PRIOR TO THE COMMENCEMENT OF ANY DRAINAGE WORKS.

EXISTING VEHICULAR CROSSING TO BE REMOVED AND THE KERB REPLACE IN ACCORDANCE WITH COUNCILS CONDITIONS AND REQUIREMENTS

NEW CROSSTOVER TO COUNCILS CONDITIONS AND REQUIREMENTS

REFER TO GEO-TECHNICAL ENGINEER AND STRUCTURAL ENGINEERS DETAILS AND RECOMMENDATIONS FOR ALL PROPOSED METHOD OF SUPPORT TO ANY EXCAVATION ADJACENT TO ADJOINING PROPERTIES, OR THE ROAD RESERVE - THE PROPOSED METHOD OF SUPPORT IS TO BE DESIGNED BY A CHARTERED CIVIL ENGINEER.

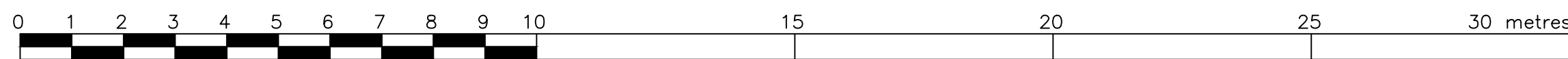
ANY ESSENTIAL SERVICE MUST BE DISCONNECTED FROM THE STRUCTURE BEING DEMOLISHED OR REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITY, AND THE STRUCTURE BEING DEMOLISHED OR REMOVED MUST NOT BE RELOCATED ON THE SAME LOT OR TO A DIFFERENT LOT, UNLESS IT MEETS THE RELEVANT DEVELOPMENT STANDARDS SPECIFIED.



BASEMENT FLOOR LAYOUT

NOTE:

- Building to comply with NSW Parts 3.12.1 Building Fabric (Ceiling Insulation) and 3.12.5 Services; and
- The water closet in swinging doorways must have a clear span of 1.2m from the edge of the doorway to the nearest part of the water closet or comply with Part 3.8.3.3 BCA;
- The laundries must have artificial lighting complying with AS 1680.1;



SCALE BAR : 1:100

- 8000 DENOTES PROPOSED DIMENSIONS
- 8000 DENOTES APPROVED DA DIMENSIONS
- PROPOSED DELETIONS
- ADDITIONAL FLOOR SPACE
- APPROVED APPLICATION
- PROPOSED CHANGES
- PROPOSED CHANGES
- PROPOSED GLAZING
- PROPOSED CHANGES

DRAWING No.: DA:05

S4.55 MOD.PL



designed: N.D.G. drawn: N.D.G. date: 10.12.22
project no: KEL-2022-1200@A3 scale: 1:100@A1



REV.	COMMENTS	DATE
A	ISSUE FOR APPROVAL	10.12.22
B	S4.55 MODIFICATION	04.02.24

GENERAL NOTES

note:

- DESIGN AND VERIFY ALL DIMENSIONS AND DETAILS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS, AND REPORT ANY DISCREPANCIES OR AMBIGUITIES TO THE OFFICE OF NASSIMA DESIGN GROUP FOR CLARIFICATION.
- ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL CURRENT BUILDING CODES AND RELEVANT AUSTRALIAN STANDARDS, AND TO THE SATISFACTION OF THE GOVERNING LOCAL AUTHORITIES.
- ALL BUILDING DOCUMENTATION TO BE READ IN CONSULTATION WITH ENGINERS TOTAL PLANNING DIVISION.
- BUILDER TO REMOVE ALL RUBBISH AND DEBRIS FROM SITE PRIOR TO CONSTRUCTION OR REPAIRATION FOR NEW WORKS.
- BUILDER TO EVALUATE AS REQUIRED TO SUIT NEW CONSTRUCTION WORKS, HAVE GOOD ALL SITE WORKS, CUT AND FILL AS REQUIRED.

PROJECT:
No. 65 KELVIN PARADE, PICNIC POINT.
LOT 25 IN P.13775 - SITE : 486.9sqm
client: MR & MRS DOUENH
BASEMENT FLOOR

	
<p> DENOTES FLOOR SPACE AREA CALCULATED TOTAL FLOOR AREA : 242m² </p>	
<p> DWELLING - SITE AREA : 486.9m² DEEP SOIL LANDSCAPE AREA : 150m² HARD SURFACE AREA : 305m² PRIVATE OPEN SPACE : 86m² </p>	
	
<p> DENOTES LANDSCAPE AREA CALCULATED </p>	

ALL EXTERNAL WALLS, ROOF AND FLOORS TO BE INSULATED TO COMPLY WITH BASIX REQUIREMENTS.

THE OUTSIDE FINISHED LEVEL SHALL BE CONSTRUCTED A MINIMUM 200mm BELOW THE HABITABLE FLOOR LEVEL FOR THE WHOLE BUILDING PERIMETER. EXTERNAL PATHS AND GROUND SURFACES ADJOINING THE WALLS OF THE BUILDING SHALL BE GRADED AND DRAINED AWAY FROM THE DWELLINGS AS PER HYDRAULIC LAYOUTS AND DETAILS.

SWIMMING POOL AND POOL FENCES TO BE CONSTRUCTED AS PER REGISTERED AND QUALIFIED POOL CONTRACTORS SPECIFICATIONS. ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL RELEVANT AND CURRENT AUSTRALIAN STANDARDS AND BUILDING CODES.

NOTE: POOL FENCE TO COMPLY WITH AS 1926.1

WATER FROM A SWIMMING POOL MUST BE DISCHARGED IN ACCORDANCE WITH AN APPROVAL UNDER THE LOCAL GOVERNMENT ACT 1993. POOL PUMP MUST BE HOUSED IN A SOUNDPROOF ENCLOSURE.

RELOCATED POOL FILTER/PUMP TO ALLOW FOR GREATER FUNCTION OF PRIVATE OPEN SPACE

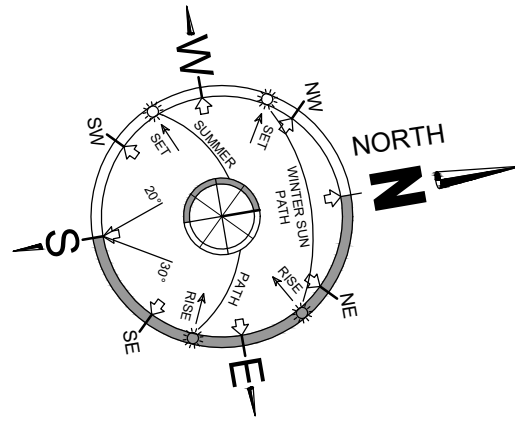
DA APPROVED STORMWATER DESIGN / REQUIREMENT MAINTAINED

ALL SITE FACILITIES (SUCH AS CLOTHES DRYING, MAIL BOXES, RECYCLING AND GARBAGE DISPOSAL UNITS/AREAS, SCREENS, LIGHTING, STORAGE AREAS, AIR CONDITIONING UNITS, RAINWATER TANKS AND COMMUNICATION STRUCTURES) ARE EFFECTIVELY INTEGRATED INTO THE DEVELOPMENT AND ARE UNOBTUSIVE.

PROPOSAL ENSURES THAT THE PROPOSED PRIVATE OPEN SPACE IS SUITABILITY LOCATED TAKING INTO ACCOUNT EXISTING AND POTENTIAL SURROUNDING DEVELOPMENT. MINIMUM AMENITY IMPACTS TO NEIGHBOURS.

DWELLING PROVIDES ADEQUATE SETBACKS FROM BOUNDARIES TO RETAIN PRIVACY LEVELS AND MINIMISE OVERLOOKING/OVERSHADOWING AND MAINTAINING / IMPROVING VISUAL AMENITY OUTCOMES FOR ADJOINING RESIDENCE.

RAINWATER TANK / STORMWATER TO BE DRAINED TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF HYDRAULIC ENGINEERS AND RELEVANT AND GOVERNING AUTHORITY. BUILDER TO CONFIRM THE EXACT LOCATION OF THE LEGAL POINT OF DISCHARGE PRIOR TO THE COMMENCEMENT OF ANY DRAINAGE WORKS.



STORMWATER TO BE DRAINED TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF HYDRAULIC ENGINEERS AND RELEVANT AND GOVERNING AUTHORITY. BUILDER TO CONFIRM THE EXACT LOCATION OF THE LEGAL POINT OF DISCHARGE PRIOR TO THE COMMENCEMENT OF ANY DRAINAGE WORKS.

LANDSCAPING - BDCP B1 2015 (Section 2) 2.31

- (a) a minimum 45% of the area between the dwelling house and the primary road frontage; and
(b) a minimum 45% of the area between the dwelling house and the secondary road frontage; and



Denotes landscaped area calculated forward of the building line

THE OUTSIDE FINISHED LEVEL SHALL BE CONSTRUCTED A MINIMUM 200mm BELOW THE HABITABLE FLOOR LEVEL FOR THE WHOLE BUILDING PERIMETER. EXTERNAL PATHS AND GROUND SURFACES ADJOINING THE WALLS OF THE BUILDING SHALL BE GRADED AND DRAINED AWAY FROM THE DWELLINGS AS PER HYDRAULIC LAYOUTS AND DETAILS.

Termite Protection:
Install physical barriers for termite protection to comply with Part 3.1.3 of the NCC (Housing Provisions) and AS 3660.1 (2014) Part 1 3.1.3 of the NCC

SMOKE ALARMS :3.7.2 NCC AND AS3786

SELF CONTAINED SMOKE ALARMS SHALL BE LOCATED AS SHOWN ON DRAWINGS AND FULLY COMPLY WITH THE BUILDING CODE OF AUSTRALIA, AS 3786 AND ANY OTHER CODE OR STANDARD REFERENCED THEREIN.



SELF CONTAIN SMOKE DETECTOR 12/240V WITH INTEGRAL BUZZER AND BATTERY BACKUP
ALL SMOKE ALARMS TO BE HARD WIRED TO MAIN POWER.
INTERCONNECT SMOKE ALARMS SO THAT ONE ALARM WILL TRIGGER ALL ALARMS WITHIN THE RESIDENCE.

DRIVEWAY CROSSING
STREET BOUNDARY ALIGNMENT LEVELS TO BE IN ACCORDANCE WITH WORK PERMIT APPROVAL. THE LEVELS FOR THE ENTIRE STREET BOUNDARY ACROSS THE FRONTAGE IN KELVIN PARADE ARE TO BE THE NOMINATED AMOUNT ABOVE THE INVERT OF GUTTER AS PER THE WORK PERMIT ISSUED BY COUNCIL. REFER TO PLAN NUMBER PERMIT

1.2m HIGH FRONT FENCE WITH NUMBER & LETTER BOX.
BUILDER TO CONFIRM EXTENT AND LOCATION OF FEATURE LETTERBOX WALL WITH PROPRIATOR BEFORE CONSTRUCTION. LETTERBOX TO AUSTRALIA POST REQUIREMENTS.

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DWELLING PROVIDES ADEQUATE SETBACKS FROM BOUNDARIES TO RETAIN PRIVACY LEVELS AND MINIMISE OVERLOOKING/OVERSHADOWING AND MAINTAINING / IMPROVING VISUAL AMENITY OUTCOMES FOR ADJOINING RESIDENCE.

8000 DENOTES PROPOSED DIMENSIONS

8000 DENOTES APPROVED DA DIMENSIONS

PROPOSED DELETIONS

ADDITIONAL FLOOR SPACE

APPROVED APPLICATION

PROPOSED CHANGES

PROPOSED CHANGES

PROPOSED GLAZING

PROPOSED CHANGES

SWIMMING POOL REQUIREMENTS:

THE SWIMMING POOL SAFETY FENCES SHOULD BE PROVIDED IN ACCORDANCE WITH AS 1926 PARTS 1 AND 2.

APPROVED RESUSCITATION SIGN BEING PROVIDED WITHIN THE POOL AREA. IN AN EASILY SEEN LOCATION AS SHOWN. ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL RELEVANT AND CURRENT BUILDING CODES.

SELECTED 1.2 METER HIGH FROM FLOOR LEVEL APPROVED POOL FENCE AS SHOWN. CHILDPROOF LOCK SYSTEM AT POINT OF ENTRY WITH A SELF CLOSING DOOR/GATE. ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL RELEVANT AND CURRENT BUILDING CODES.

DEPTH MARKERS EXPRESSING THE POOL DEPTH IN METRES BEING PROVIDED AT SWIMMING POOL SO THAT THE DEPTHS OF THE POOL ARE READILY APPARENT TO POOL USERS.

NOTE:
SAFETY POOL FENCING SHALL BE IN ACCORDANCE WITH AS 1926.1 WHEREIN A SUITABLE BARRIER SHALL BE PROVIDED AT A MINIMUM HEIGHT OF 1200mm MIN. AND VERTICLE BALLUSTRADES ARE SPACED AT NO GREATER THAN 100mm. THE GATE SHALL BE HUNG SO THAT IT SWINGS AWAY FROM THE POOL AREA AND ALSO BE A MINIMUM HEIGHT OF 1200mm MIN. SELF CLOSING AND SELF LATCHING OR SELF LOCKING DEVICE SHALL BE LOCATED AT LEAST 1200mm MIN. ABOVE THE FLOOR LEVEL. THE PERIMETER PALING FENCING SHALL BE TREATED SO THAT THE RAILS ARE BEVELLED ON A 60° ANGLE TO PREVENT CHILDREN FROM CLIMBING OVE RTHE FENCE. FURTHERMORE, ENSURE ALL PERIMETER POOL FENCING HAS A 1200mm CLEAR SPAN FROM CLIMBABLE OBJECTS.

AN APPROVED RESUSCITATION SIGN.

APPROVED SELF CLOSING CHILDPROOF POOL GATE TO SUIT.

THE PROPOSED POOL AREA SHALL BE FENCED AND CONSTRUCTED IN ACCORDANCE WITH THE SWIMMING POOLS ACT, 1992 AND COUNCILS CODE FOR THE INSTALLATION OF SWIMMING POOLS FOR DOMESTIC USE. IF REQUIRED, YOU MAY CONFER WITH COUNCIL FOR ASSISTANCE WITH RESPECT TO THE LOCATION OF POOL FENCING.

TREES, SHRUBS OR ANY OTHER OBJECTS SUCH AS A BARBEQUE, POT PLANTS, TOYS, LADDERS AND CHAIRS MUST NOT BE WITHIN THE 900mm 'NON CLIMBABLE ZONE'. THIS IS SO THAT A CHILD CAN NOT USE THEM TO CLIMB OVER THE FENCE.

THE 'NON CLIMBABLE ZONE' IS A ZONE MEASURED IN AN ARC SHAPE FROM THE TOP OF THE OUTSIDE OF THE POOL FENCE ARCHING TOWARDS THE GROUND. ANY PART OF THE BOUNDARY FENCE THAT IS PART OF THE POOL FENCE OR IS WITHIN THE 900mm 'NON CLIMBABLE ZONE' MUST NOT HAVE ANY HORIZONTAL BARS.

REFER TO ENGINEERS DETAILS AND SPECIFICATIONS FOR POOL FILLING.

BUILDER TO CONFIRM EXTENT OF POOL FENCING, FEATURE WALL AND POOL DECK WITH PROPRIATOR BEFORE CONSTRUCTION.

NOTE:

- a) Building to comply with NSW Parts 3.12.1 Building Fabric (Ceiling Insulation) and 3.12.5 Services; and
- b) The water closet in swinging doorways must have a clear span of 1.2m from the edge of the doorway to the nearest part of the water closet or comply with Part 3.8.3.3 BCA;
- c) The laundries must have artificial lighting complying with AS 1680.1;

ALL EXTERNAL WALLS, ROOF AND FLOORS TO BE INSULATED TO COMPLY WITH BASIX REQUIREMENTS.

NOTE: ALL WINDOWS SERVING THE POOL AREA MUST BE FIXED UP TO 1800mm FROM FFL OR RESTRICTED TO A MAX OPEING ON 100mm



VERTICAL JOINT IN MASONRY CONSTRUCTION

VERTICAL JOINTS INDICATED AS (VJ) ARE APPROXIMATES ONLY. ALL VERTICAL JOINTS ARE TO BE IN STRICT ACCORDANCE WITH AS 3700 MASONRY CODE. PROVIDE VERTICAL ARTICULATION JOINTS IN BRICK WALLS AS PER CLAUSE 3.3.5.13 OF THE NATIONAL CONSTRUCTION CODE AND AS PER STRUCTURAL ENGINEER'S DETAILS

NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH

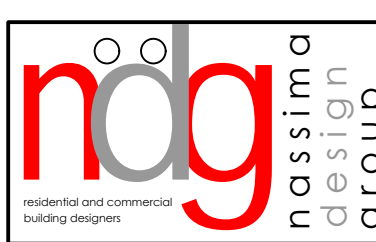
BASIX NOTES - 65 KELVIN PARADE, PICNIC POINT.

Basix and Nateths requirements are:

- The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.
- Gas cooktop and electric oven
- R4.5 insulation to plasterboard ceiling. ceiling: 4.5 (up), roof: foil backed blanket (75 mm)
- Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
- foil+R2.5 to all first floor timber framed external walls
- Weather stripping to external doors & windows
- all windows and sliding doors shall be: U = 6.708 SHGC = 0.70
- U-value: 5.4, SHGC: 0.441 - 0.539
- (aluminium, single, Hi-Isol Low-e)
- RW: 4.000 to collect 225sqm of roof area and to be connected to pool and landscape
- pool capacity: 28kl
- spa capacity: 5kl
- solar panels (photovoltaic system): 1.0 peak KWH

S4.55 MOD.PL

DRAWING No.: DA:06



nasima design group

project: No. 65 KELVIN PARADE, PICNIC POINT. LOT 25 DP 13775 - SITE : 486.9sqm

client: MR & MRS DOUENI

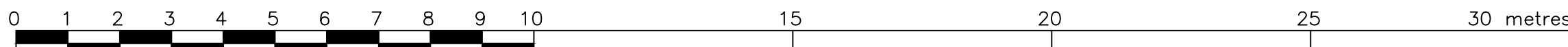
GROUND FLOOR

designed: N.D.G. project no: KEL-2022

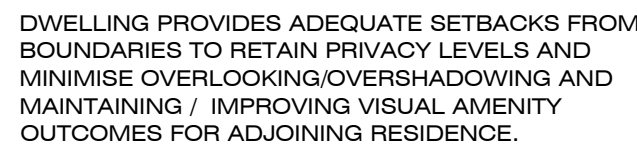
drawn: N.D.G. 1:200 @ A3

date: 10.12.22 scale: 1:100 @ A1

GROUND FLOOR LAYOUT



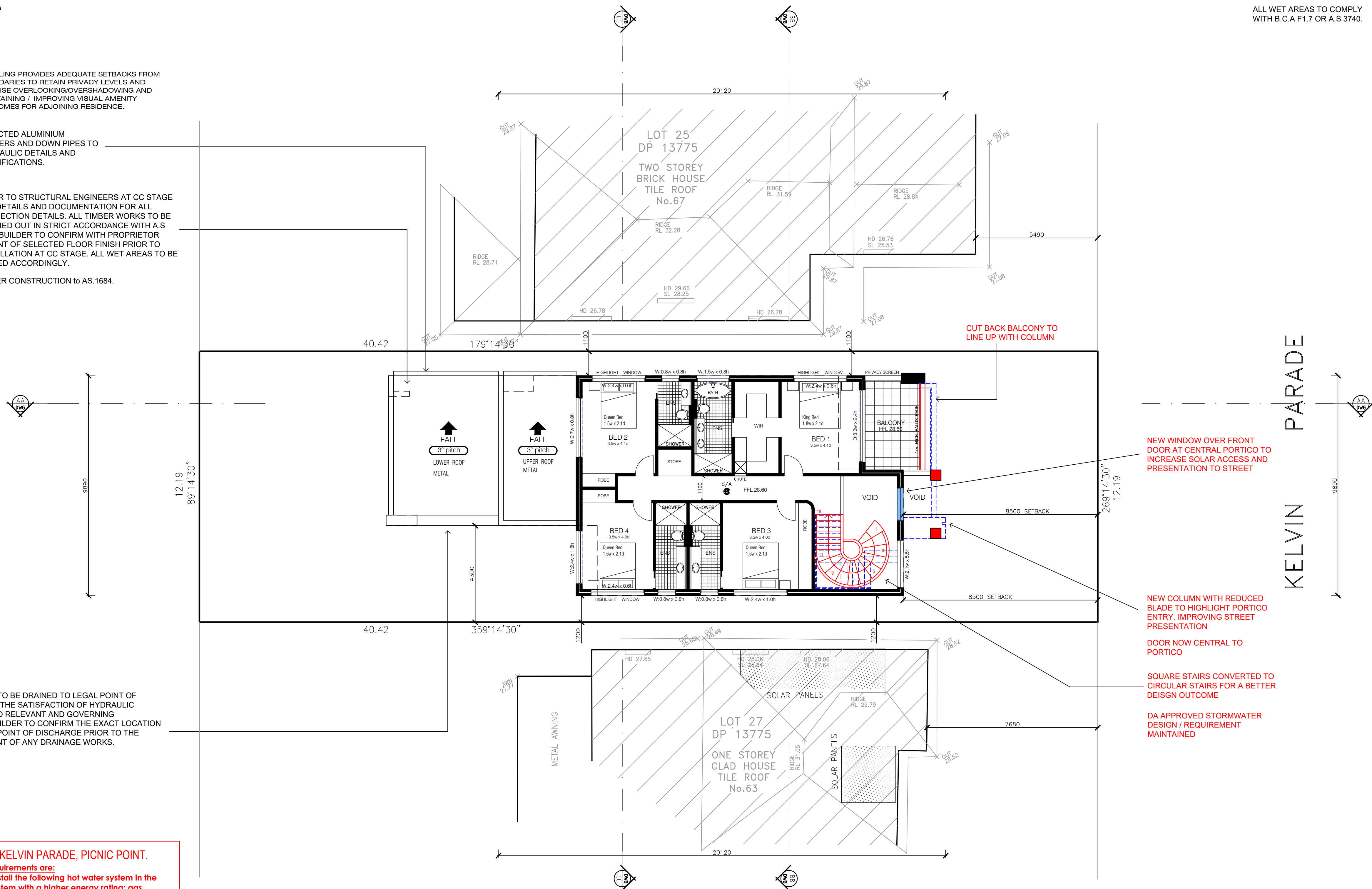
SCALE BAR : 1:100



SELECTED ALUMINIUM
GUTTERS AND DOWN PIPES TO
HYDRAULIC DETAILS AND
SPECIFICATIONS.

REFER TO STRUCTURAL ENGINEERS AT CC STAGE FOR DETAILS AND DOCUMENTATION FOR ALL CONNECTION DETAILS. ALL TIMBER WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH A S 1684. BUILDER TO CONFIRM WITH PROPRIETOR EXTENT OF SELECTED FLOOR FINISH PRIOR TO INSTALLATION AT CC STAGE. ALL WET AREAS TO BE SEALED ACCORDINGLY.

TIMBER CONSTRUCTION to AS.1684



STORMWATER TO BE DRAINED TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF HYDRAULIC ENGINEERS AND RELEVANT AND GOVERNING AUTHORITY. BUILDER TO CONFIRM THE EXACT LOCATION OF THE LEGAL POINT OF DISCHARGE PRIOR TO THE COMMENCEMENT OF ANY DRAINAGE WORKS.

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Basix and Nalther's requirements are:

- instant must include the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.
- Gas cooktop and electric oven
- R4.5 insulation to plasterboard ceiling. ceiling: 4.5 (up), roof: foil backed blanket (75 mm)
- Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
- foil+R2.5 to all first floor timber framed external walls
- Weather stripping to external doors & windows
- all windows and sliding doors shall be: $U = 0.670$ & $SHGC = 0.70$
- U-value: 5.4, SHGC: 0.441 - 0.539 (aluminium, single, Hi-Loi Low-e)
- RWT: 6,000 to ceiling 225sqm of roof area and to be connected to pool and landscape
- pool capacity: 28Kl
- spa capacity: 5Kl
- solar panels (photovoltaic system): 1.0 peak KwH

ALL EXTERNAL WALLS, ROOF AND FLOORS
TO BE INSULATED TO COMPLY WITH BASIX
REQUIREMENTS.

NOTE:

- a) Building to comply with NSW Parts 3.12.1 Building Fabric (Ceiling Insulation) and 3.12.5 Services; and
- b) The water closet in swinging doorways must have a clear span of 1.2m from the edge of the doorway to the nearest part of the water closet or comply with Part 3.8.3.3 BCA;
- c) The laundries must have artificial lighting complying with AS 1680.1;

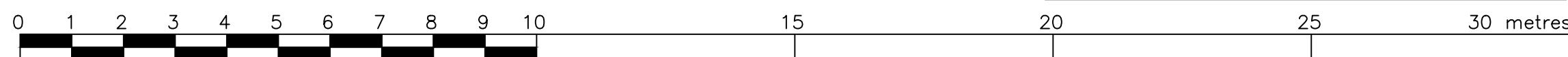
THE PROPOSED NEW DWELLING REINFORCES THE EXISTING CHARACTER OF THE STREET AND LOCALITY BY ACKNOWLEDGING BUILDING SETBACKS WHILE ENSURING THAT BUILDING IS APPROPRIATELY SITED. ALL SETBACKS ARE REPRESENTATIVE OF THE CHARACTER OF THE AREA.

THE DWELLING DESIGN CONTRIBUTES IN TO THE LOCALITY THROUGH A DESIGN THAT CONSIDERS BUILDING SCALE, FORM, ARTICULATION AND LANDSCAPING THROUGH COLOUR SCHEMES THAT ARE OF SIMILAR HUES AND TONES TO THAT WITHIN THE STREETScape.

VERTICAL JOINT IN MASONRY CONSTRUCTION

VERTICAL JOINTS INDICATED AS (VJ) ARE APPROXIMATES ONLY.
ALL VERTICAL JOINTS ARE TO BE IN STRICT ACCORDANCE WITH **AS-3700 MASONRY CODE**. PROVIDE VERTICAL ARTICULATION JOINTS IN BRICK WALLS AS PER CLAUSE 3.3.5.13 OF THE NATIONAL CONSTRUCTION CODE AND AS PER STRUCTURAL ENGINEER'S DETAILS

NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH



SCALE BAR - 1:100

CLAUSE OF THE BCA AND 3.9.2.6

FIRST FLOOR BEDROOM OPENABLE WINDOWS TO BE FITTED WITH A DEVICE TO LIMIT OPENING OR SUITABLE SCREEN SO A 125mm SPHERE CANNOT PASS THROUGH.

THE DEVICE OR SCREEN CAN HAVE A CHILD RESISTANT RELEASE MECHANISM WHICH CAN ENABLE THE DEVICE OR SCREEN TO BE REMOVED, UNLOCKED OR OVERRIDDEN AND RESTRICT THE FORCE OF 250N. WHERE A CHILD RESISTANT RELEASE MECHANISM IS UTILISED, THE WINDOW MUST ALSO BE PROVIDED WITH A BARRIER BELOW IT THAT HAS A MINIMUM HEIGHT OF 865MM, DOES NOT PERMIT A 125MM SPHERE TO PASS THROUGH IT, AND DOES NOT HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150MM AND 760MM THAT FACILITATE CLIMBING. FIXED GLAZING UNDER THE OPENABLE PART OF THE WINDOW WHICH MEETS THE HEIGHT REQUIREMENTS (I.E. 150MM TO 760MM) MUST BE SECURED TO THE FLOOR ETC. TO PREVENT IT FROM BEING REMOVED OR TO WOULD SATISFY THE BARRIER REQUIREMENT.

WHERE A DEVICE OR SCREEN IS SECURELY FIXED IN POSITION (EG A SCREEN POP RIVETED TO THE WINDOW FRAME) SO IT CANNOT BE UNLOCKED, OVERRIDDEN, OR IS VERY DIFFICULT TO REMOVE WITHOUT FOR EXAMPLE A DRILL, THE 865MM BARRIER WOULD NOT BE REQUIRED AS THE SECURING METHOD IS CONSIDERED A FIXTURE AND NOT A CHILD RESISTANT RELEASE MECHANISM.

PROTECTION OF THE OPENING IS NOT REQUIRED FOR
WINDOWS WHERE THE LOWEST PART OF THE OPENING IS
1.7M OR MORE ABOVE THE FLOOR

THE PROPOSED DWELLING RESPONDS TO BOTH ITS NATURAL AND BUILT CONTEXT WITH THE DWELLING THAT RESPONDS TO THE EXISTING CHARACTER AND THE FUTURE CHARACTER OF THE AREA.



DENOTES PROPOSED DIMENSIONS

8000

DENOTES APPROVED
DA DIMENSIONS

PROPOSED DELETIONS

ADDITIONAL FLOOR SPACE

APPROVED APPLICATION

PROPOSED CHANGES

PROPOSED CHANGES

PROPOSED GLAZING

PROPOSED CHANGES

DRAWING No.:

DA:07

S4.55 MOD.PL



THIS DRAWING & DESIGN MUST NOT BE COPIED IN PART OR WHOLE WITHOUT THE WRITTEN AUTHORISATION FROM NAGSAM DESIGN GROUP.

NAGSAM DESIGN PTY LTD

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Kingsgrove, 2208

Mob 0413 868 773
Email: nsgdesign@gmail.com

designed: **N.D.G** project no: **KEL-2023**
drawn: **N.D.G** **1:200 @A**
date: **10.12.22** scale: **1:100 @A**

AMENDMENTS		
REV.	COMMENTS	DATE
A	ISSUE FOR APPROVAL	10/12/22
B	34.5% MODIFICATION	04/02/23

GENERAL NOTES:

note:

1. CHECK AND VERIFY ALL DIMENSIONS AND DETAILS ON THIS PLAN FOR THE COORDINATION OF ANY WORKS, AND REPORT ANY DISCREPANCIES TO THE OFFICE OF PLANNING AND DESIGN. IT IS THE RESPONSIBILITY OF THE SUBMITTER TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES BEFORE CONSTRUCTION.

2. ALL WORKS SHALL BE COMPLETED IN ACCORDANCE WITH ALL CURRENT BUILDING CODES AND RELEVANT AUSTRALIAN STANDARDS, AND THE SATISFACTION OF THE GOVERNING LOCAL AUTHORITIES.

3. ALL BUILDING DOCUMENTATION TO BE READ IN CONJUNCTION WITH THE RELEVANT LOCAL COUNCIL'S DEVELOPMENT PLAN.

4. BUILDING TO INCLUDE ALL RUBBERH AND DESIGNS FROM THIS PLAN TO ITS CONSTRUCTION IN PREPARATION FOR FUTURE WORKS.

5. ALL WORKS TO BE COMPLETED BY THE SETBACK DATE OF THE WORKS. WORKS NAME GROUND, CUT AND FILL AS REQUIRED.

project:

No. 85 KELVIN PARADE,
LOT 28 IN DP 193775 - SITE 1 468.8sqm
2ND PH OF A/R

client:
MIR & MRS DOUHEIM

drawing:
FIRST FLOOR

ALL EXTERNAL WALLS, ROOF AND FLOORS
TO BE INSULATED TO COMPLY WITH BASIX
REQUIREMENTS.

SWIMMING POOL AND POOL FENCES TO BE
CONSTRUCTED AS PER REGISTERED AND
QUALIFIED POOL CONTRACTORS
SPECIFICATIONS. ALL WORKS TO BE CARRIED
OUT IN STRICT ACCORDANCE WITH ALL
RELEVANT AND CURRENT AUSTRALIAN
STANDARDS AND BUILDING CODES.

LOT
DP 24

DENOTES EXISTING
BUILDING / STRUCTURE
ON THE PROPERTY
TO BE REMOVED.

RAINWATER TANK / STORMWATER TO BE DRAINED
TO LEGAL POINT OF DISCHARGE TO THE
SATISFACTION OF HYDRAULIC ENGINEERS AND
RELEVANT AND GOVERNING AUTHORITY. BUILDER
TO CONFIRM THE EXACT LOCATION OF THE LEGAL
POINT OF DISCHARGE PRIOR TO THE
COMMENCEMENT OF ANY DRAINAGE WORKS.

SITE / ROOF PLAN

SWIMMING POOL REQUIREMENTS:


THE SWIMMING POOL SAFETY FENCES SHOULD BE PROVIDED IN ACCORDANCE WITH AS. 1926 PARTS 1 AND 2.

APPROVED RESUSCITATION SIGN BEING PROVIDED WITHIN THE POOL AREA. IN AN EASILY SEEN LOCATION AS SHOWN.

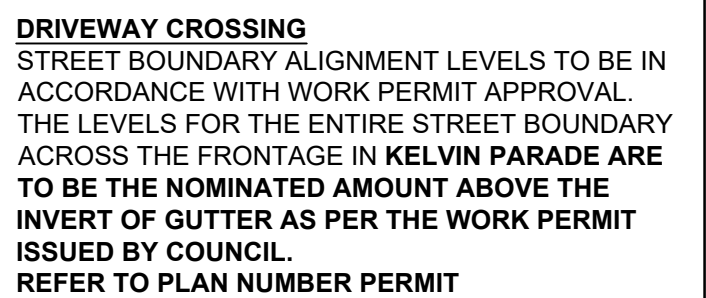
ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL RELEVANT AND CURRENT BUILDING CODES.

SELECTED 1.2 METER HIGH FROM FLOOR LEVEL APPROVED POOL FENCE AS SHOWN. CHILD PROOF LOCK SYSTEM AT POINT OF ENTRY WITH A SELF CLOSING DOOR GATE. ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL RELEVANT AND CURRENT BUILDING CODES.

DEPTH MARKERS EXPRESSING THE POOL DEPTH IN METRES BEING PROVIDED AT SWIMMING POOL SO THAT THE DEPTHS OF THE POOL ARE READILY APPARENT TO POOL USERS.



Denotes landscaped area calculated forward of the building line



1.2m HIGH FRONT FENCE WITH
NUMBER & LETTER BOX.
BUILDER TO CONFIRM EXTENT AND LOCATION OF
FEATURE LETTERBOX WALL WITH PROPRIATOR
BEFORE CONSTRUCTION. LETTERBOX TO
AUSTRALIA POST REQUIREMENTS.

PROPOSAL ENSURES THAT THE PROPOSED PRIVATE OPEN SPACE IS SUITABLY LOCATED TAKING INTO ACCOUNT EXISTING AND POTENTIAL SURROUNDING DEVELOPMENT. MINIMUM AMENITY IMPACTS TO NEIGHBOURS.

DWELLING PROVIDES ADEQUATE SETBACKS FROM BOUNDARIES TO RETAIN PRIVACY LEVELS AND MINIMISE OVERLOOKING/OVERSHADOWING AND MAINTAINING / IMPROVING VISUAL AMENITY OUTCOMES FOR ADJOINING RESIDENCE.

STORMWATER TO BE DRAINED TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF HYDRAULIC ENGINEERS AND RELEVANT AND GOVERNING AUTHORITY. BUILDER TO CONFIRM THE EXACT LOCATION OF THE LEGAL POINT OF DISCHARGE PRIOR TO THE COMMENCEMENT OF ANY DRAINAGE WORKS.



RELOCATED POOL FILTER/PUMP
TO ALLOW FOR GREATER
FUNCTION OF PRIVATE OPEN
SPACE



BUILDER TO CONFIRM EXTENT
OF POOL FENCING, FEATURE
WALL AND POOL DECK WITH
PROPRIATOR BEFORE
CONSTRUCTION.

AN APPROVED
RESUSCITATION SIGN.


APPROVED SELF CLOSING
CHILDPROOF POOL GATE TO
SUIT.

www.dialbeforeyoudig.com.au

 **DIAL 1100**
BEFORE YOU DIG

SMOKE ALARMS :3.7.2 NCC AND AS3786

SELF CONTAINED SMOKE ALARMS SHALL BE LOCATED AS SHOWN ON DRAWINGS AND FULLY COMPLY WITH THE BUILDING CODE OF AUSTRALIA, AS 3786 AND ANY OTHER CODE OR STANDARD REFERENCED THEREIN.

 S/A

SELF CONTAIN SMOKE DETECTOR 12/240V WITH INTEGRAL BUZZER AND BATTERY BACKUP
ALL SMOKE ALARMS TO BE HARD WIRED TO MAIN POWER.

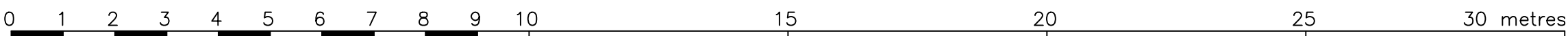
INTERCONNECT SMOKE ALARMS SO THAT ONE ALARM WILL TRIGGER ALL ALARMS WITHIN THE RESIDENCE

NOTE: ALL WINDOWS SERVING THE POOL AREA MUST BE FIXED UPTO 1800mm FROM FFL OR RESTRICTED TO A MAX OPEING ON 100mm

VERTICAL JOINT IN MASONRY CONSTRUCTION

VERTICAL JOINTS INDICATED AS (VJ) ARE APPROXIMATES ONLY.
ALL VERTICAL JOINTS ARE TO BE IN STRICT ACCORDANCE WITH **AS-3700 MASONRY CODE**. PROVIDE VERTICAL ARTICULATION JOINTS IN BRICK WALLS AS PER CLAUSE 3.3.5.13 OF THE NATIONAL CONSTRUCTION CODE AND AS PER STRUCTURAL ENGINEER'S DETAILS.

NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH



SCALE BAR - 1:100

DRAWING No.:

DA:08

S4.55 MOD.PL



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NASSIGA DESIGN PTY LTD

Level 2, Suite 20
M322 Kingsgrove Road,
Kingsgrove, 2208

Mo 0413 068 773
Email: nldgnydesign@gmail.com

designed: **N.D.G** project no: **KEL-2023**
drawn: **N.D.G** 1: **200@A3**
date: **10.12.23** scale: **1:100@A1**

AMENDMENTS:		DATE:
REV:	COMMENTS:	
A <td>FOR APPROVAL</td> <td>10.12.22</td>	FOR APPROVAL	10.12.22
B <td>S4.52 MODIFICATION</td> <td>04.04.24</td>	S4.52 MODIFICATION	04.04.24

GENERAL NOTES

NOTE:

check and verify all dimensions and details on SITE
 AND THE DOCUMENTATION OF ALL WORKS, AND REPORT
 OR OBSERVATIONS OR ANALOGIES TO THE OFFICE OF
 NAGASA DESIGN GROUP FOR CLARIFICATION.

THE WORK IS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH
 ALL CURRENT BUILDING CODES AND RELEVANT AUSTRALIAN
 STANDARDS AND THE INSTRUCTIONS OF THE GOVERNING
 LOCAL AUTHORITIES.

ALL BUILDING DOCUMENTATIONS TO BE READ IN CONJUNCTION
 WITH THE EXISTING PLANS AND SPECIFICATIONS.

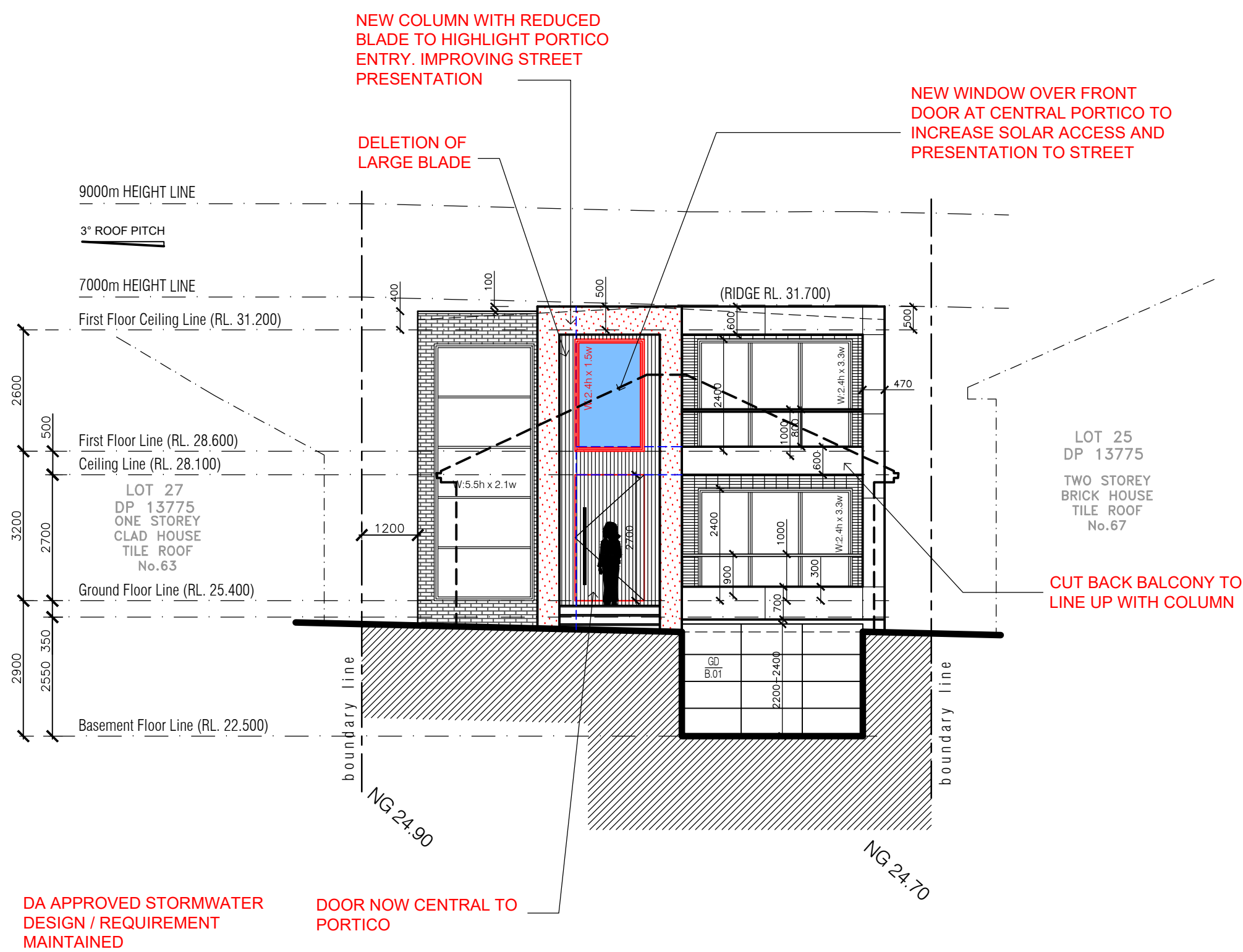
WORKER TO REMOVE ALL RUBBER AND DEBRIS FROM SITE
 TO CONSIDERATION FOR RECYCLING AND REUSE.

THE CONSTRUCTION TO BE COMPLETED BY NEW BUILDING
 WORKERS. WAGES SHOLD AS THE WAGES FOR NEW BUILDING
 WORKERS.

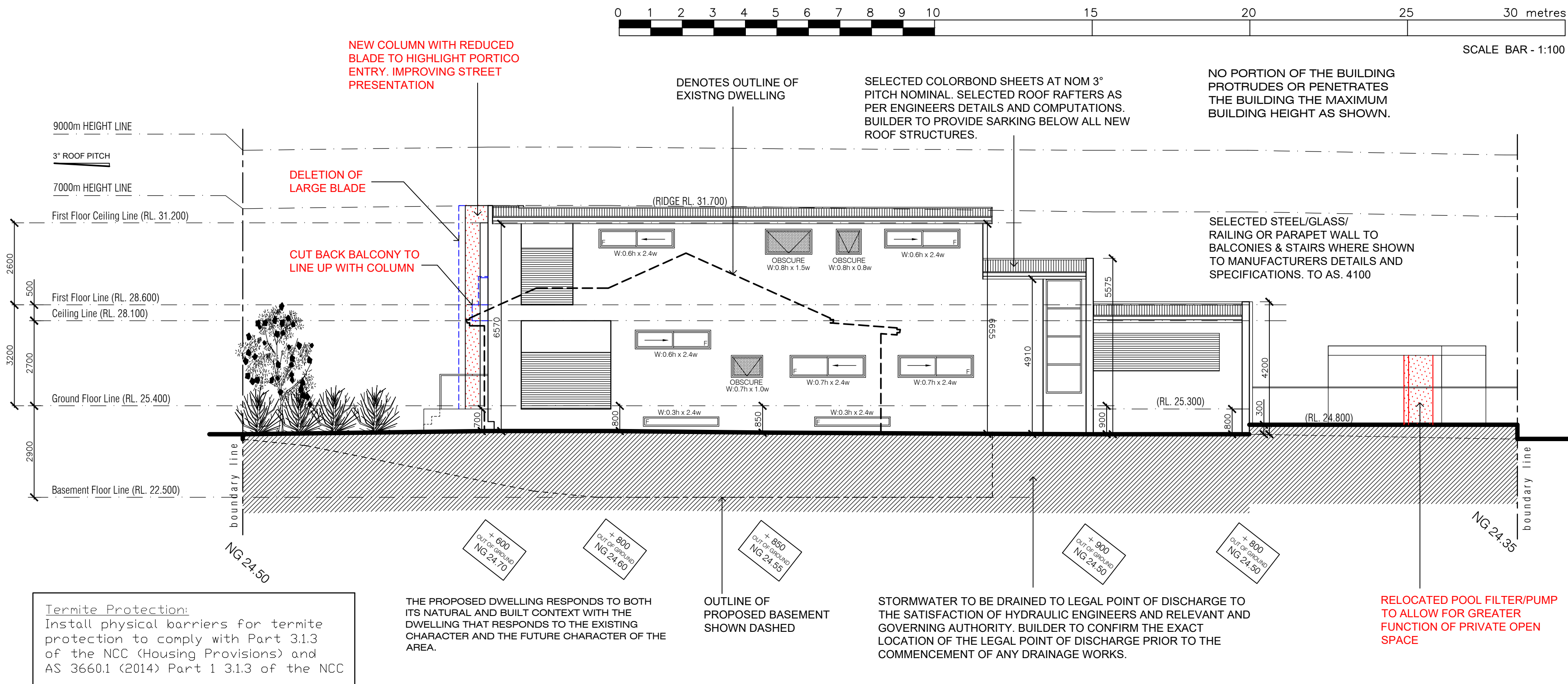
PROJECT:

NO. 65 KELVIN PARADE,
 BUNDOCK POINT
 LOT 28 IN D.P.1738 - SITE : 486.08sqm
 client: MRS & MRS DOUBENI
 drawing:

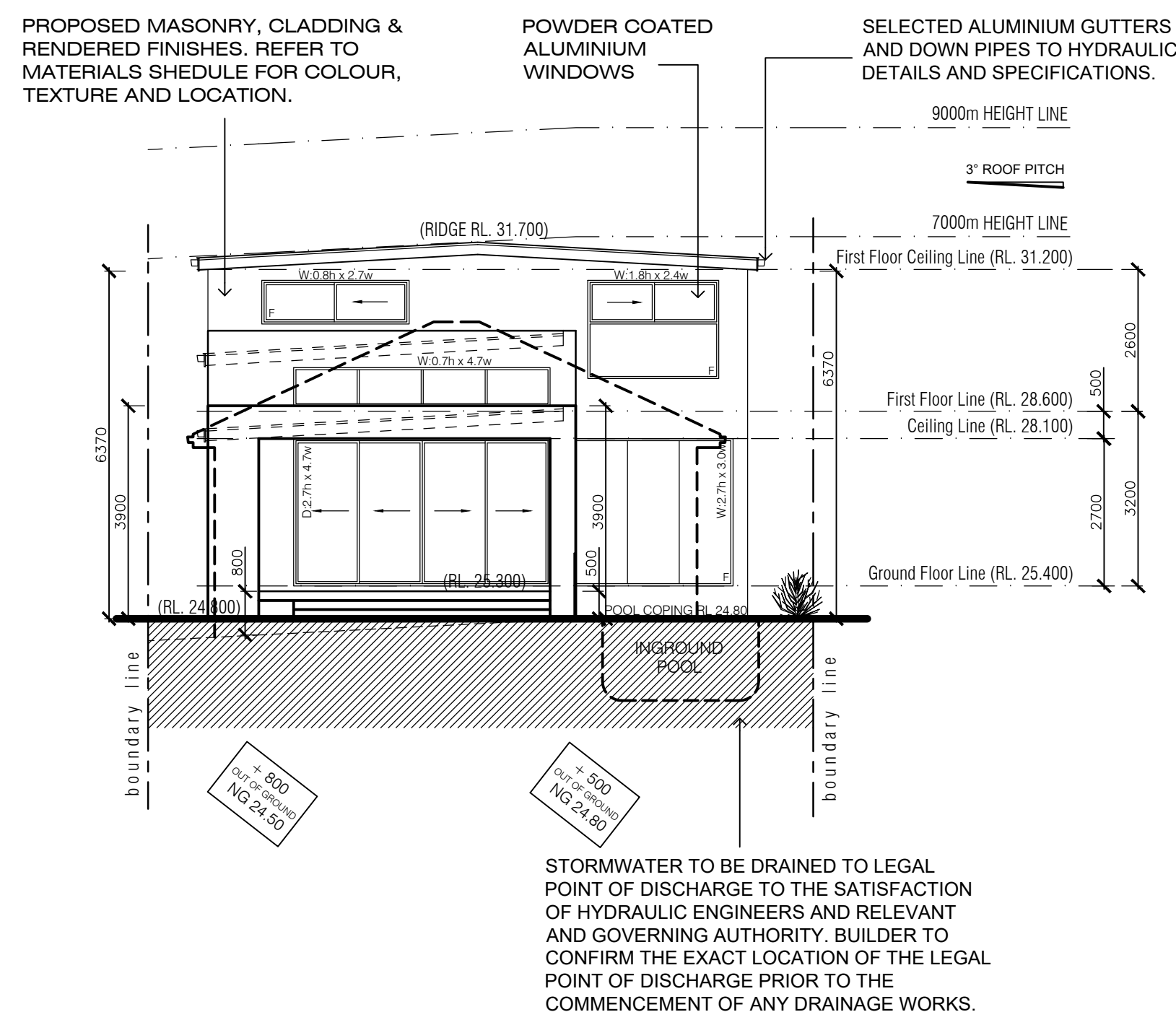
SITE PLAN



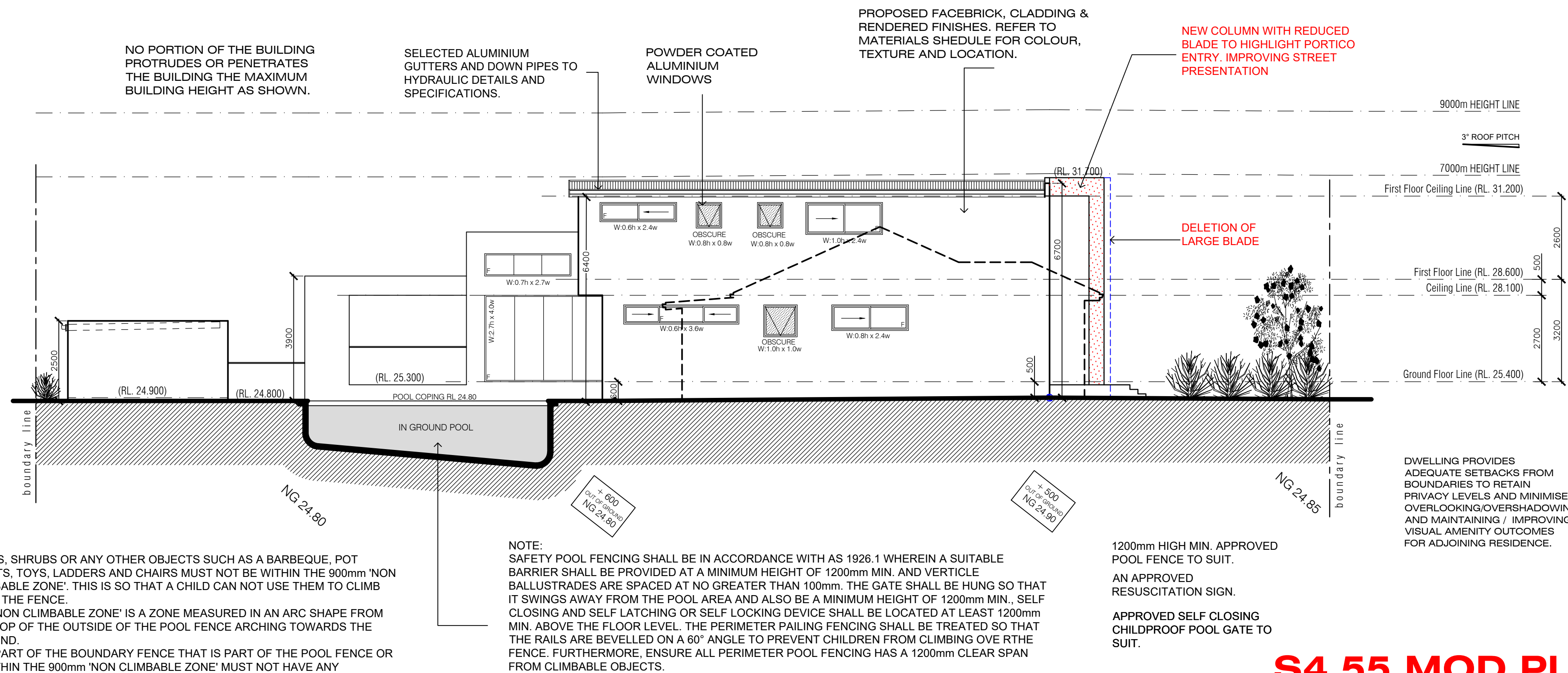
NORTHERN ELEVATION - Kelvin Parade Facade



WESTERN ELEVATION



SOUTHERN ELEVATION



EASTERN ELEVATION

SWIMMING POOL REQUIREMENTS:

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DEPTH MARKERS EXPRESSING THE POOL DEPTH IN METRES BEING PROVIDED AT SWIMMING POOL SO THAT THE DEPTHS OF THE POOL ARE READILY APPARENT TO POOL USERS.

DWELLING PROVIDES ADEQUATE SETBACKS FROM BOUNDARIES TO RETAIN PRIVACY LEVELS AND MINIMISE OVERLOOKING/OVERSHADOWING AND MAINTAINING / IMPROVING VISUAL AMENITY OUTCOMES FOR ADJOINING RESIDENCE.

REV.	COMMENTS	DATE
A	ISSUE FOR APPROVAL	10.12.22
B	S4.55 MODIFICATION	26.02.24

GENERAL NOTES:

note:

- CHECK AND VERIFY ALL DIMENSIONS AND DETAILS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS, AND REPORT ANY DISCREPANCIES OR INADEQUACIES TO THE OFFICE OF ARCHITECTURAL DESIGN GROUP FOR CLARIFICATION.
- ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL CURRENT BUILDING CODES AND RELEVANT AUSTRALIAN STANDARDS, AND TO THE SATISFACTION OF THE GOVERNING LOCAL AUTHORITIES.
- ALL BUILDING OCCUPATION/TO BE READ IN CONSULTATION WITH STAMPED TOWN PLANNING DRAWINGS.
- BUILDERS TO REMOVAL ALL FENCES AND OPENING FROM SITE PRIOR TO CONSTRUCTION IN PREPARATION FOR NEW WORKS.
- BUILDERS TO OBTAIN AS REQUIRED TO SUIT NEW CONSTRUCTION WORKS. NAME GOOD ALL NEW WORKS CUT AND FILL AS REQUIRED.

S4.55 MOD.PL

DRAWING No.: DA:09

ndg nassima design group

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Lot 27, Sub 13775, One Storey Brick House, Tile Roof, No. 63

DA:09 888 772

Client: ndg@nassimadesigngroup.com

Architect: N.D.G.

Project No: KEL-2022

Scale: 1:100@A3

Date: 10.12.22

Scale: 1:100@A1

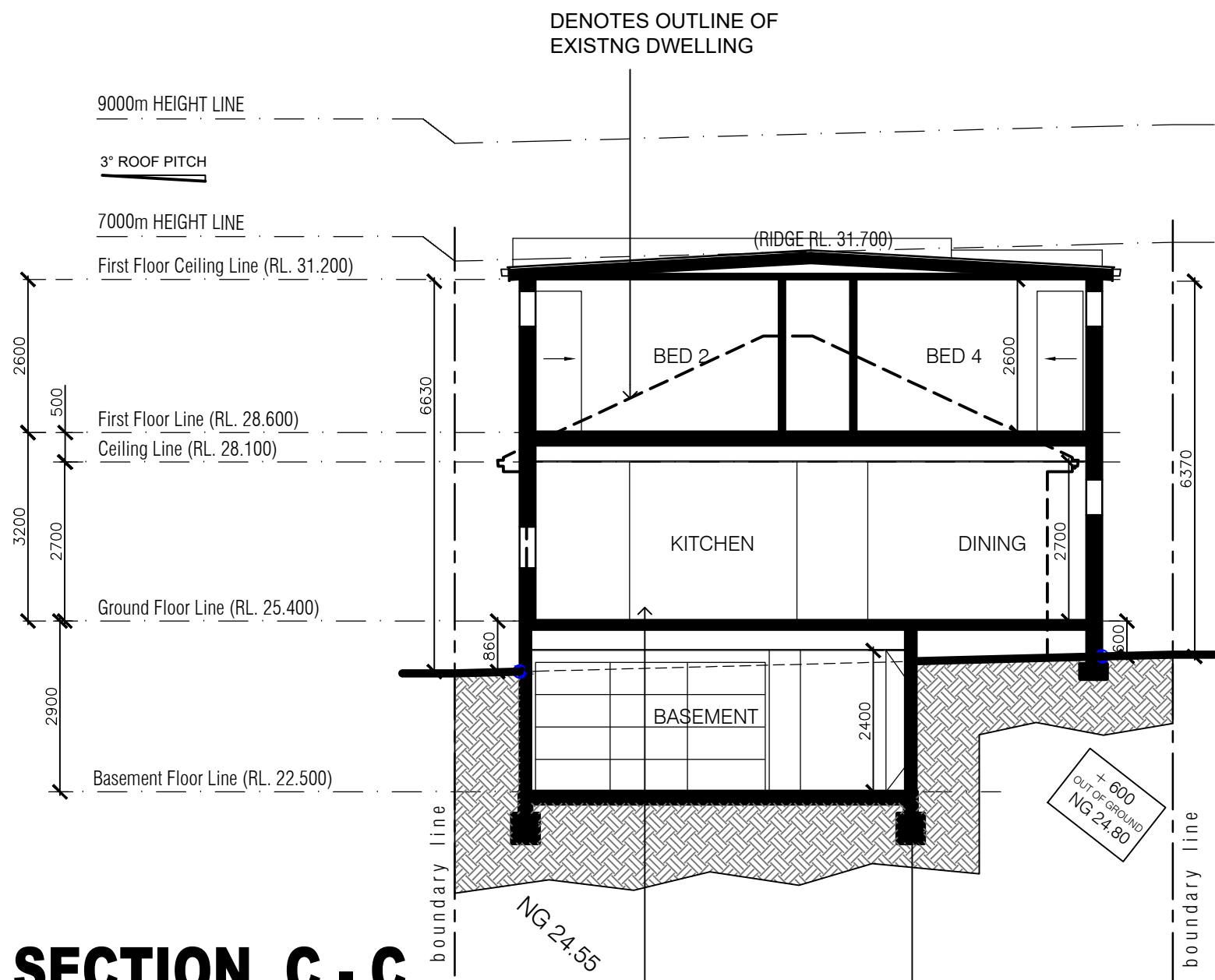
PROJECT: No. 63 KELVIN PARADE, PICNIC POINT. LOT 27 IN D.P. 13775 - SITE - 488.0sqm

CLIENT: N.D.G. & MRS DOUZI

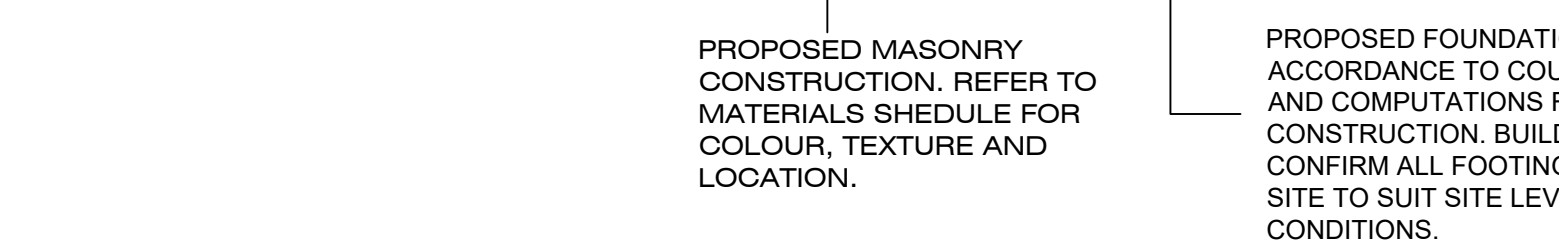
DRAWING: ELEVATIONS

SECTION A - A

VERTICAL JOINT IN MASONRY CONSTRUCTION
VERTICAL JOINTS INDICATED AS (VJ) ARE APPROXIMATES ONLY. ALL VERTICAL JOINTS ARE TO BE IN STRICT ACCORDANCE WITH AS-3700 MASONRY CODE. PROVIDE VERTICAL ARTICULATION JOINTS IN BRICK WALLS AS PER CLAUSE 3.3.5.13 OF THE NATIONAL CONSTRUCTION CODE AND AS PER STRUCTURAL ENGINEER'S DETAILS.
NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH



SECTION C - C



ROOF SHEET NOTE:
BUILDER TO CONFIRM THE SELECTED ROOF SHEET SPECIFICATIONS ARE SUITABLE FOR THE ROOF PITCH PROPOSED AND SARKING DETAILS. REFER TO MANUFACTURERS DETAILS AND SPECIFICATIONS TO ENSURE PITCH REQUIREMENTS ARE MET.

DIAL 1100 BEFORE YOU DIG
PRIOR TO ANY EXCAVATION ON OR NEAR THE SUBJECT SITE THE PERSON/S HAVING BENEFIT OF THIS CONSENT ARE REQUIRED TO CONTACT THE NSW DIAL BEFORE YOU DIG SERVICE (NDBYD) ON 1100 TO RECEIVE WRITTEN CONFIRMATION FROM NDBYD THAT THE PROPOSED EXCAVATION WILL NOT CONFLICT WITH ANY UNDERGROUND UTILITY SERVICES. THE PERSON/S HAVING THE BENEFIT OF THIS CONSENT ARE REQUIRED TO FORWARD THE WRITTEN CONFIRMATION FROM NDBYD TO THEIR PRINCIPAL CERTIFYING AUTHORITY (PCA) PRIOR TO ANY EXCAVATION OCCURRING.
REASON: TO ENSURE COUNCIL'S ASSETS ARE NOT DAMAGED.

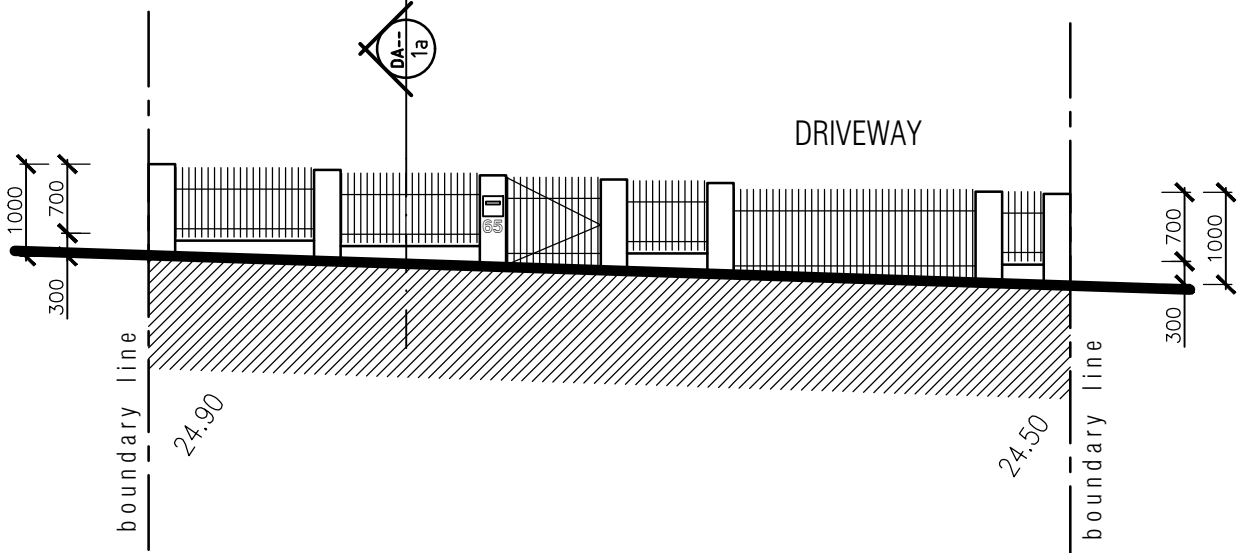


Termite Protection:
Install physical barriers for termite protection to comply with Part 3.1.3 of the NCC (Housing Provisions) and AS 3660.1 (2014) Part 1 3.1.3 of the NCC

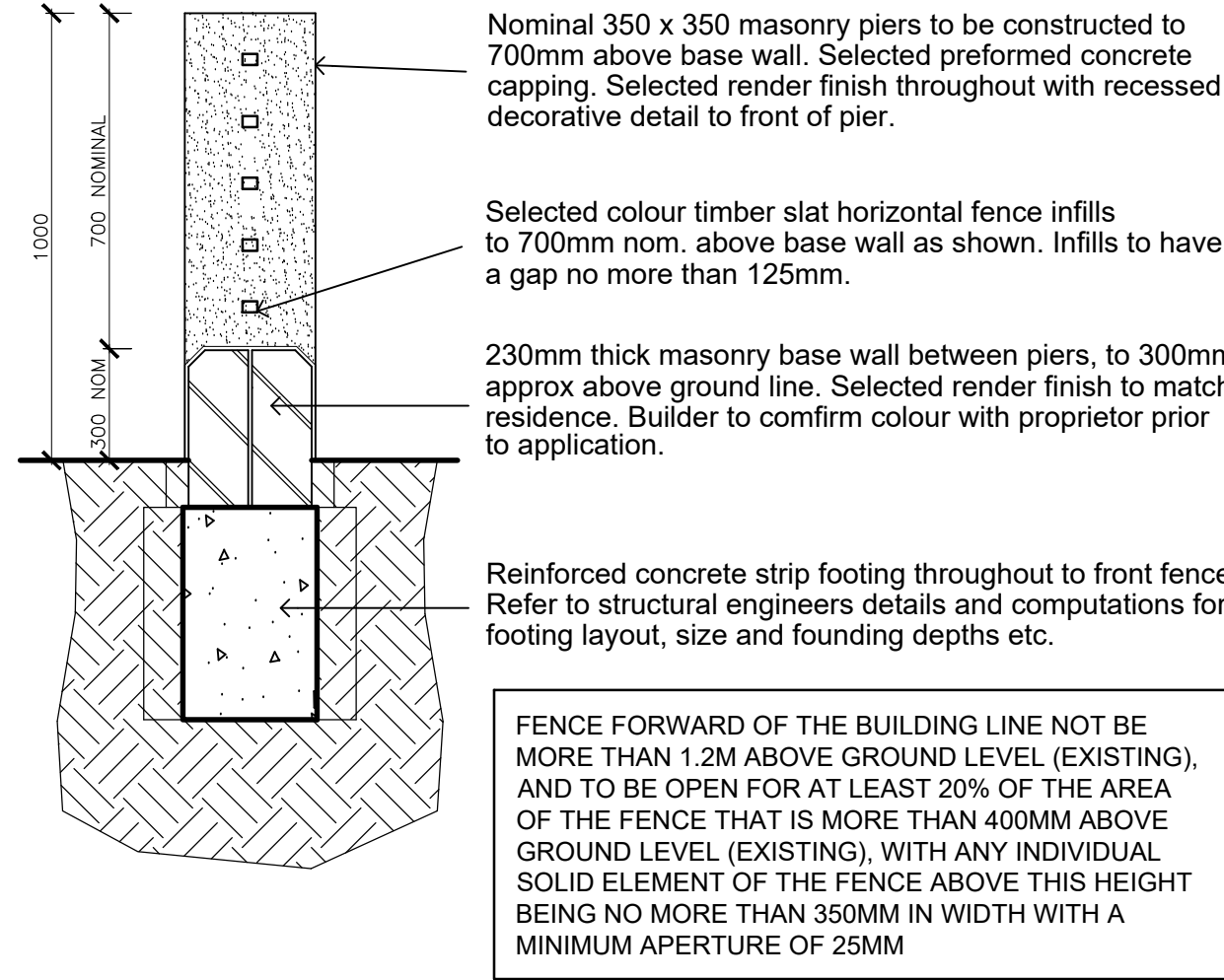
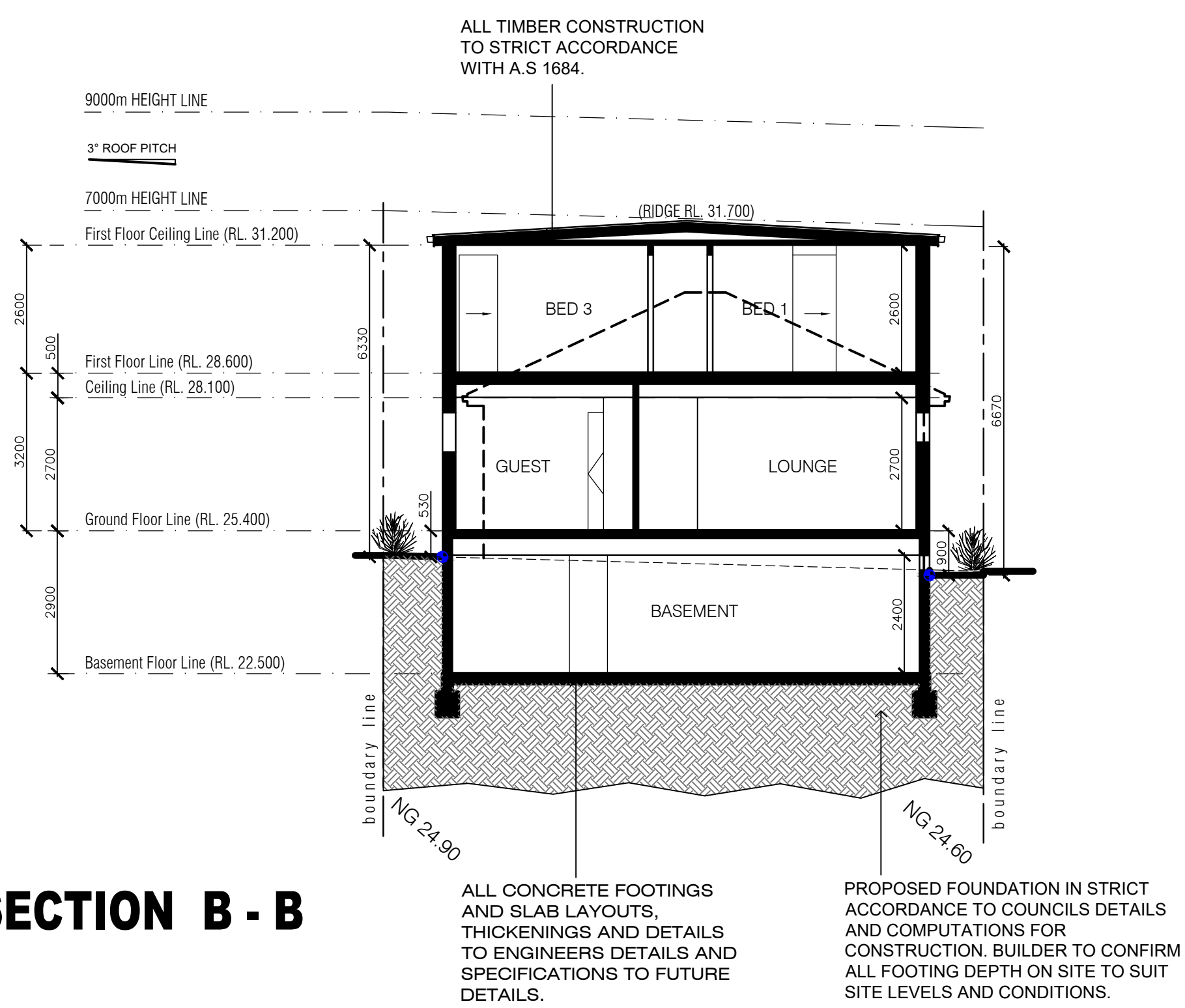
FRONT FENCE ELEVATION

(kelvin Parade)

scale 1:100



SECTION B - B



FRONT FENCE SECTION - 1a

scale 1:20

CLAUSE OF THE BCA AND 3.9.2.6
FIRST FLOOR BEDROOM OPENABLE WINDOWS TO BE FITTED WITH A DEVICE TO LIMIT OPENING OR SUITABLE SCREEN SO A 125mm SPHERE CANNOT PASS THROUGH.
THE DEVICE OR SCREEN CAN HAVE A CHILD RESISTANT RELEASE MECHANISM WHICH CAN ENABLE THE DEVICE OR SCREEN TO BE REMOVED, UNLOCKED OR OVERRIDDEN AND RESTRICT THE FORCE OF 250N. WHERE A CHILD RESISTANT MECHANISM IS UTILISED, THE WINDOW MUST ALSO BE PROVIDED WITH A BARRIER BELOW IT THAT HAS A MINIMUM HEIGHT OF 865MM, DOES NOT PERMIT A 125MM SPHERE TO PASS THROUGH IT, AND DOES NOT HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150MM AND 760MM THAT FACILITATE CLIMBING. FIXED GLAZING UNDER THE OPENABLE PART OF THE WINDOW WHICH MEETS THE HEIGHT REQUIREMENTS (I.E. TRANSOM AT LEAST 865MM ABOVE THE FLOOR ETC.) WOULD SATISFY THE BARRIER REQUIREMENT.
WHERE A DEVICE OR SCREEN IS SECURELY FIXED IN POSITION (EG A SCREEN POP RIVETED TO THE WINDOW FRAME) SO IT CANNOT BE UNLOCKED, OVERRIDDEN, OR IS VERY DIFFICULT TO REMOVE WITHOUT FOR EXAMPLE A DRILL, THE 865MM BARRIER WOULD NOT BE REQUIRED AS THE SECURING METHOD IS CONSIDERED A FIXTURE AND NOT A CHILD RESISTANT RELEASE MECHANISM.
PROTECTION OF THE OPENING IS NOT REQUIRED FOR WINDOWS WHERE THE LOWEST PART OF THE OPENING IS 1.7M OR MORE ABOVE THE FLOOR

DRAWING No.: DA:10



THE DRAWING A DESIGN NOT BE COPIED, IN PART OR WHOLE, WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
DESIGNER: N.D.G. PROJECT NO: KEL-2022
DATE: 10.12.22 SCALE: 1:100@A3
DRAWN: N.D.G. DATE: 10.12.22

AMENDMENTS	DATE
REV. COMMENTS	
A ISSUE FOR APPROVAL	10.12.22
A S4.55 MODIFICATION	24.02.24

GENERAL NOTES
note:
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• ALL BUILDING OCCUPATION/TO BE READ IN CONSULTATION WITH STAMPED TOWN PLANNING DRAWINGS.
• BUILDER TO MAINTAIN ALL FENCES AND CURBS FROM SITE PRIOR TO CONSTRUCTION IN PREPARATION FOR NEW WORKS.
• BUILDER TO MAINTAIN AS REQUIRED TO SUIT NEW CONSTRUCTION WORKS. MAINTAIN GOOD ALL NEW WORKS CUT AND FILL AS REQUIRED.

PROJECT: No. 65 KELVIN PARADE, PICNIC POINT. LOT 28 IN D.P. 13775 - SITE - 488,8sqm
CLIENT: MRS & MRS DOUHI
DRAWING: ELEVATIONS